

# PLANNING COMMISSION REPORT



MEETING DATE: March 24, 2004

ITEM NO. \_\_\_\_\_ GOAL: Coordinate Planning to Balance Infrastructure

## SUBJECT

**Childrens Ministry Center - New Covenant Lutheran Church  
3-ZN-2004 and 3-UP-2004**

## REQUEST

Request to rezone from Commercial Office District, Planned Community Development (C-O PCD) to Single Family Residential District, Planned Community Development (R1-5 PCD) on a 1.98 +/- acre parcel located at 15152 N Frank Lloyd Wright Blvd and for a conditional use permit to allow a private and charter school.

### Key Items for Consideration:

- The rezoning and use permit applications will permit development of a new pre-school on the larger site and create a zoning district similar to its surroundings.
- The pre-school is located on part of a larger church property.
- Neighbors have expressed no objections.

### Related Policies, References:

Case 54-ZN-93 rezoned the site from R-5 (Multi Family Residential) to R1-5 (Single Family Residential) and C-O (Commercial Office) in December 1993.

## OWNER

New Covenant Lutheran Church

## APPLICANT CONTACT

Jonathan Peiffer  
Roberts/Jones Associates Inc  
602-955-7575

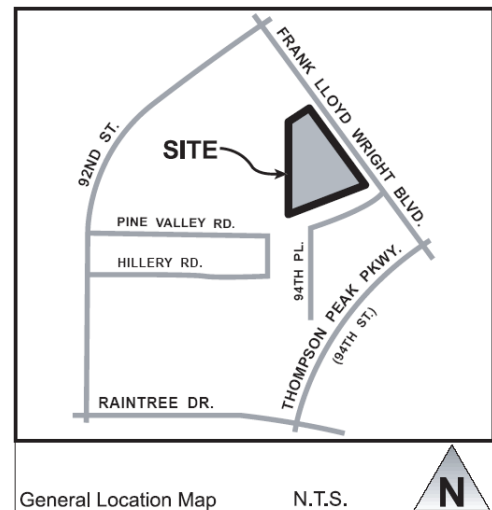
## LOCATION

15152 N Frank Lloyd Wright Blvd

## BACKGROUND

### Zoning.

The proposed pre-school site is currently zoned C-O (Commercial Office) District but is requested to be rezoned to (R1-5) Single Family Residential District as part of this application. The R1-5 District allows pre-schools which are private and charter schools, subject to conditional use permits. The 1.98 +/- acre site is adjacent to the 3 +/- Church site situated to the west which is currently zoned (R1-5) Single Family Residential District. With the proposed rezoning of the pre-school site, the entire 4.61 +/- church property will have the same (R1-5) zoning. The site is located in the Scottsdale Horizons Planned Community Development (PCD), which provides for the overall development of the area as a master planned community.



**General Plan.**

The General Plan Land Use Element designates the property as Urban Neighborhoods. This category permits development of single-family neighborhoods at urban densities along with associated uses including churches and public and private schools.

**Context.**

This site is located at the west of the southwest corner of Thompson Peak Parkway and Frank Lloyd Wright Boulevard in the Scottsdale Horizons master planned community. The surrounding property includes the following:

- North – Existing Townhouse apartment and condominium development, zoned R-5 PCD (Multi-family Residential)
- East, South and West– existing single-family residential development (zoned R1-5 PCD)

APPLICANT'S  
PROPOSAL

**Goal/Purpose of Request.**

**Rezoning**

The proposal is to rezone the southeastern 1.98+/- acre portion of the church site from C-O PCD (Commercial Office) District to (R1-5) Single Family Residential District to permit a new pre-school along the southeastern side of the existing New Covenant Lutheran Church site. The result of the rezoning will be to provide a consistent (R1-5) Single Family Residential District for the entire 4.61-acre church site.

**Use Permit**

The applicant is proposing to use the provisions granted within the private and charter school use to operate a pre-school. The pre-school will operate within a proposed new building and is intended for children between the ages of 3 and 5 years old. The school will operate on weekdays during normal school hours and will accommodate a maximum of 138 students plus staff. The new facility provides 5 classrooms plus fenced play area and pre-school offices located west of the classrooms. The facility has adequate setback from adjacent residential properties to the east and south.

**Development information.**

- *Existing Use:* This is an undeveloped portion of the larger church property, an existing 4,344 square foot church plus accessory buildings exist on the western side of the site
- *Buildings/Description:* The pre-school facility will contain 6,837-square-foot square-foot building
- *Parcel Size:* 1.98 +/- acre portion of the larger 4.61+/- acre church site property
- *Building Height Allowed:* 30 feet
- *Existing Building Height:* Existing Church height is 30 feet, the proposed pre-school building is 18 feet

- *Floor Area:* 6,837-square feet
- *Other:* 138 pre-school students, 3-5 years old

**Key Issues.**

- The rezoning request to R1-5 District is compatible with the zoning on adjacent properties located south of Frank Lloyd Wright Blvd.
- The use permit for a pre-school conforms with the use permit criteria and will not create a conflict with adjacent uses.

**IMPACT ANALYSIS****Traffic.**

A trip generation analysis has been prepared for the proposed pre-school based on the allowed 138 students. The analysis indicates that the pre-school will generate an estimated 624 vehicles per day. Peak hour trip generation is anticipated to be approximately 110 vehicle trips in both the AM and PM peak hours. The site has access at two (2) locations onto Frank Lloyd Wright Boulevard, a 6 lane major arterial road. The southeastern access to this site is located across from a median break and permits full turning movements. A right-turn deceleration lane is stipulated to be constructed at this driveway location with the rezoning and use permit approval.

Parking for the pre-school is located along the south side of the site adjacent to the school. Parents/guardians are required to escort the children from the vehicles to the pre-school office and sign them in and out when entering and leaving the facility; dropping them off curbside is not allowed. This requires leaving the vehicle parked in the drop-off area during sign in and out. Eight (8) parking spaces are available for this purpose.

**Water/Sewer.**

City water and sewer lines exist within From Frank Lloyd Wright Boulevard and will be extended to the site as part of the improvement for this project.

**Police/Fire.**

Rural Metro has reviewed this proposal and found that it conforms to their requirements for fire protection and fire apparatus access. The Police Department has reviewed the proposal and has no issues with the proposal.

**Schools District comments/review.**

Scottsdale Unified School District has been notified of this application in writing and by phone and no objections were received.

**Open space, scenic corridors.**

A thirty-five foot-wide (35), buffered setback is situated along Frank Lloyd Wright Blvd. adjacent to the north side of the site. Overall, 58,853 +/- square feet of open space is provided and required on the larger church property

**Policy Implications.**

The existing land uses on the 3 adjacent sides of the site contain the same R1-5 zoning as proposed for this site. Private and charter schools, including pre-

schools are reasonably compatible and apart of the framework within residential districts. With the current C-O zoning designation, a non-residential office building could potentially affect the surrounding residential uses.

**Use Permit Criteria.**

Conditional use permits, which may be revocable, conditional, or valid for a specified time period, may be granted only when expressly permitted after the Planning Commission has made a recommendation and the City Council has found as follows:

- A. That the granting of such conditional use permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:
  1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
    - ***All pre-school activities are conducted completely within the building. Outdoor play areas are oriented away from residential areas along the east and south sides of the site.***
  2. Impact on surrounding areas resulting from an unusual volume or character of traffic.
    - ***The traffic generated by this use is approximately 274 vehicle trips per day. The adjacent street infrastructure and internal church circulation system is adequate to accommodate the associated traffic. Adequate parking and student drop-off and loading areas are provided adjacent to the school.***
  3. There are no other factors associated with this project that will be materially detrimental to the public.
    - ***The facility is self-contained and will not adversely affect or cause a negative impact on surrounding land uses. Outdoor play areas are situated about 110 feet from residential areas to the east.***
- B. The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.
  - ***Adjacent uses are single-family residential uses on 3 sides of the site and multi-family residential on the other side. The pre-school is reasonably compatible with other uses in this area.***
- C. The additional conditions specified in Section 1.403, as applicable, have been satisfied.
  - a. The site is not situated within five-hundred (500) feet of an adult use.
  - b. The pre-school site location is part of a larger 4.61-acre church site, and is more than the minimum required 43,000 square feet.
  - c. There are no proposed outside speakers or bell systems.
  - d. Outdoor lighting is in conformance with the private and charter school lighting criteria and conforms to the requirements where residential districts are located within one hundred (100 feet) of the site.
  - e. The open space is in conformance with city requirements.
  - f. Parking conforms to the ordinance requirements to be located behind

- the established front building line along Frank Lloyd Wright Blvd. A 35-foot wide landscape buffer is provided in this area.
- g. The outdoor play area is located east of the building away from the residential areas and is surrounded by a 4-foot tall screen wall and fence. All outdoor activities will be conducted within this play area.
  - h. A drop-off area is provided along the northeast side of the building that will accommodate minimum of five (5) vehicles and a sidewalk connects to the main entry of the building. (See Attachment #6)
  - i. A sidewalk connects the building with the sidewalks along Frank Lloyd Boulevard. The Development Review Board process will ensure that the pre-school building is designed to be compatible with the surrounding residential neighborhood.
  - j. The applicant has submitted a circulation plan to minimize conflicts between the student drop-off area, potential van and bus drop-off area, parking, access driveways, pedestrian and bicycle paths on site.
  - k. The pre-school is located outside of the 55 DNL noise contour of the Scottsdale Airport, and has been reviewed and conditionally approved by the Airport Director.

**Community Involvement.**

The applicant has contacted property owners within 750 feet of the site. A public open house was held on February 24, 2004. Two members of the public attended and were supportive and no concerns were expressed at the meeting. All other feedback received by the applicant has been positive. Staff has received no opposition from neighbors.

**Community Impact.**

It does not appear that the pre-school will cause a conflict with adjacent uses. The impact of this use on surrounding areas is considered to be minimal. The circulation and drop-off plan is sufficient to accommodate the proposed number of students utilizing the facility. Sufficient on-site parking is available and internal circulation provides adequate connection through the site to adjacent streets. The proposal will offer an additional pre-school service to the surrounding neighborhood.

STAFF  
RECOMMENDATION

**Recommended Approach:**

Staff recommends approval, subject to the attached stipulations.

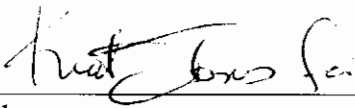
RESPONSIBLE  
DEPT(S)

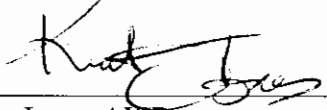
**Planning and Development Services Department**  
Current Planning Services

STAFF CONTACT(S)

Al Ward  
Senior Planner  
480-312-7067  
E-mail: award@ScottsdaleAZ.gov

**APPROVED BY**

  
\_\_\_\_\_  
Al Ward  
Report Author

  
\_\_\_\_\_  
Kurt Jones, AICP  
Current Planning Director

**ATTACHMENTS**

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Land Use Map
4. Zoning Map
5. Stipulations
6. Additional Information
7. Traffic Impact Summary
8. Citizen Involvement
9. City Notification Map
10. Site Plan

- ☒ Rezoning ☐ Other  
☒ Use Permit  
☐ Development Review  
☐ Master Sign Programs  
☐ Variance

Case # 515-PA-03#23  
 Children's Ministry Center  
 Project Name New Covenant Lutheran Church  
 Location 15152 N. Frank Lloyd Wright Blvd  
 Applicant Jonathan Peiffer, AIA  
Roberts/Jones Associates, Inc.

**SITE DETAILS**

Proposed/Existing Zoning: C O / R1-5 Parking Required: 20  
 Use: Private Preschool Parking Provided: 83  
 Parcel Size: 1.92 acres # Of Buildings: 1  
☒ Gross Floor Area ☐ Total Units: 6836 Height: 19' - 6"  
☒ Floor Area Ratio ☐ Density: .08 Setbacks: N-22'-5" S-76'-7"  
E-91'-10" W-171'-6"

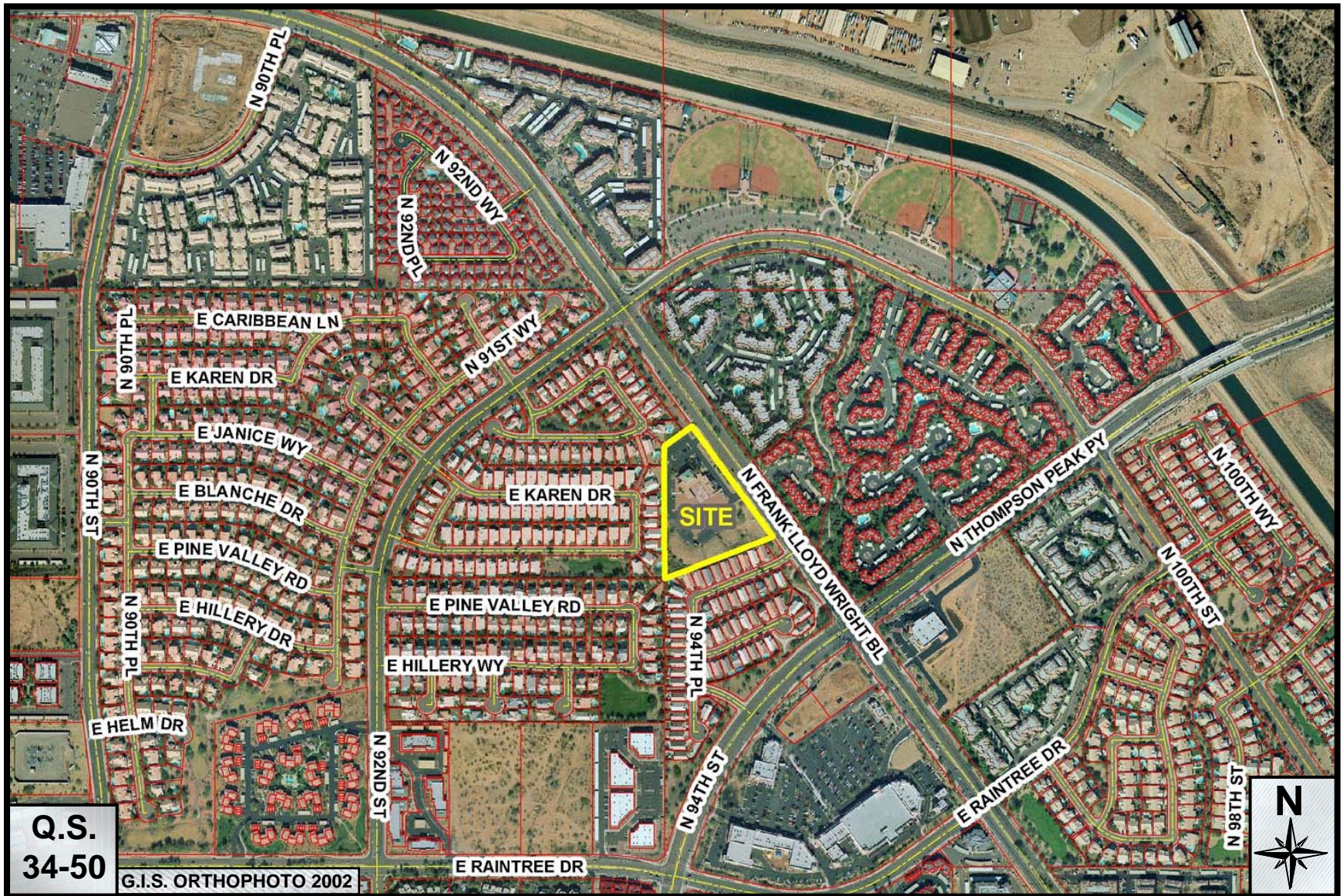
**In the following space, please describe the project or the request**

1. This request is to rezone an existing 1.92 acre CO parcel surrounded by R1-5 and R5 zoning districts to R1-5. The existing improvements by this congregation are located on a 3 acre adjacent parcel to the northwest. By allowing this request the property will conform with surrounding and adjacent zoning and conform with the current General Plan for the City of Scottsdale. Furthermore approval of this request will allow the property Owner to complete a lot-tie with their existing parcel, which is currently zoned R1-5. Finally, approval of this request will clear up conflicting datum between Maricopa County, the City of Scottsdale and the ALTA survey.
2. The second request is to approve a Use Permit to allow a 6836 s.f. private preschool on this site for a maximum of 138 students between the ages of 3 and 5. This growing congregation's vision for a children's ministry center is to support the growing young families of the neighborhood and to provide a service in an urbanized suburban neighborhood. The mission of this congregation is based upon supporting the community through its programs and services to children, youth and families. The center is the next step in realizing this vision. The impact to surrounding neighbors will be minimal with the closet portion of the building being 76'-7" from adjacent homeowners.

ATTACHMENT #1

3-ZN-2004  
2-9-04





New Covenant Lutheran Church

3-ZN-2004 / 3-UP-2004

ATTACHMENT #2



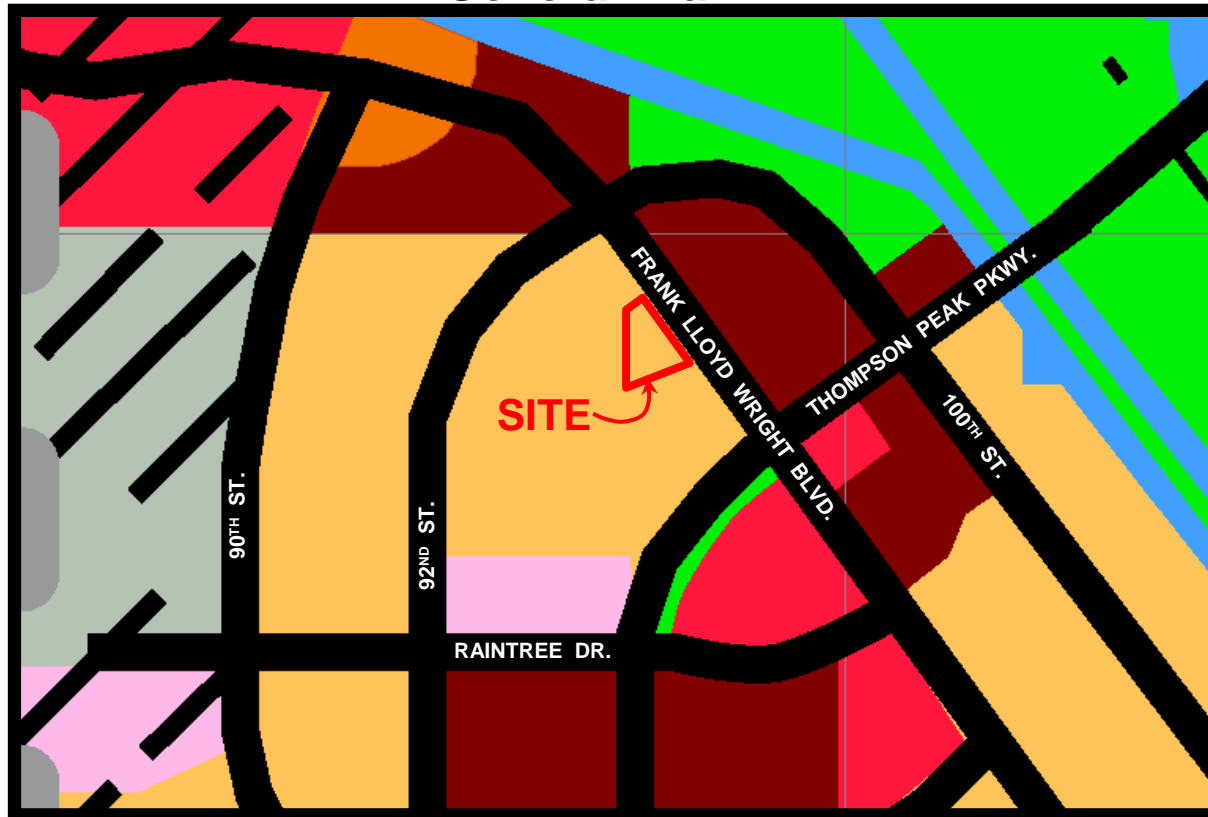


New Covenant Lutheran Church

**3-ZN-2004 / 3-UP-2004**

ATTACHMENT #2A

# General Plan



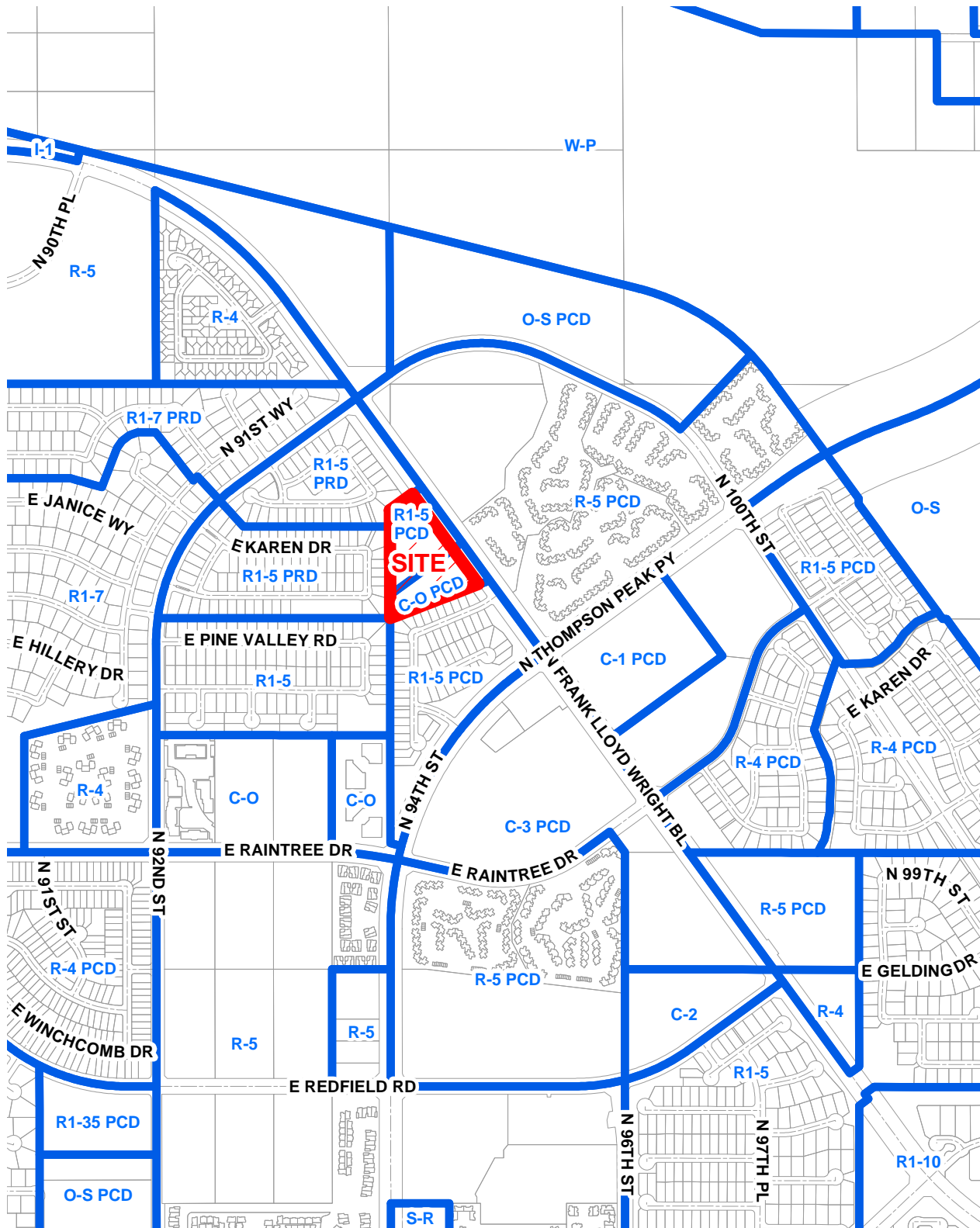
- |   |  |
|---|--|
| Rural Neighborhoods   | Commercial   |
| Suburban Neighborhoods                                      | Office   |
| Urban Neighborhoods   | Employment   |
| Mixed-Use Neighborhoods                                     | Natural Open Space   |
| Resorts/Tourism   | Developed Open Space (Parks)   |
| Shea Corridor   | Developed Open Space (Golf Courses)                                    |
| Mayo Support District                                       | Cultural/Institutional or Public Use                                   |
| Regional Use District                                       | State Trust Lands under State Land Commissioner's Order #078-2001/2002 |
| McDowell Sonoran Preserve (as of 4/2002)                    |  |
| Recommended Study Boundary of the McDowell Sonoran Preserve |  |
| City Boundary   | Location not yet determined  |



**3-ZN-2004 /**  
**3-UP-2004**  
**ATTACHMENT #3**

Adopted by City Council October 30, 2001  
 Ratified by Scottsdale voters March 12, 2002  
 revised to show McDowell Sonoran Preserve as of April 2, 2002





3-ZN-2004 / 3-UP-2004

ATTACHMENT #4



## STIPULATIONS FOR CASE 3-ZN-2004 & 3-UP-2004

### PLANNING/ DEVELOPMENT

1. CONFORMANCE TO SITE PLAN. Development shall conform with the site plan submitted by Robert Jones Associates, Inc. and dated by staff 2/9/2004. These stipulations take precedence over the above-referenced site plan. Any proposed significant change, as determined by the Zoning Administrator, shall be subject to subsequent public hearings before the Planning Commission and City Council.
2. LANDSCAPED SETBACK. With the Development Review Board submittal, the site plan shall be revised to indicate a minimum twenty (20) foot wide landscaped setback between the parking lot and the south property line.
3. OUTDOOR SPEAKERS. No outdoor speaker or bell system shall be installed or used.
4. OPERATIONS. No outdoor activities shall be permitted after 8:00PM, unless otherwise approved through a special event permit.
5. BUFFERS ALONG FRANK LLOYD WRIGHT BLVD. With Development Review Board and Final Plans Submittal, the developer shall provide a minimum thirty-five foot-wide (35), buffered setback along the school's FBW Blvd. frontage.

### ENVIRONMENTAL DESIGN

1. OUTDOOR LIGHTING. The maximum height of any outdoor lighting source shall be 16 feet above finished grade at the base of the light standard. All lighting shall be setback a minimum of thirty (30) feet from the property line. All lighting, other than security shall be turned off by 10:00PM.

### SCHEDULE B – DRAINAGE MASTER PLAN

1. MASTER DRAINAGE REPORT. With the Development Review Board submittal, the developer shall submit a master drainage report and plan subject to city staff approval. The master drainage report and plan shall conform to the Design Standards and Policies Manual - Drainage Report Preparation. In addition, the master drainage report and plan shall:
  - a. Include a complete description of requirements relating to project phasing.
  - b. Identify the timing of and parties responsible for construction of all storm water management facilities.
  - c. The master drainage plan must also include the following:
    1. The soil type.
    2. The total number of phases for the Church site (Past, present and future phases combined).
    3. The off-site drainage runoff and facilities- Include a discussion in the final drainage report, state the name of the project located across the FLW Blvd., with whose improvement the historical flow into the Church site was cut off, date of the project's approval, their drainage report or part of their drainage report making reference to clarify this report's claim that the off-site flow is cut off and no longer entering the Church site.

4. A discussion about the drainage of Frank Lloyd Wright Blvd. along this property's frontage and how and where it is disposed of.
  5. A clear and precise master exhibit to the final drainage report. The master drainage exhibit must show all the existing detention basin, its total volume, future detention basins for each phase and their related volumes. The master drainage exhibit must be designed by the same engineer who prepares the final drainage report).
  6. Detention basin volume calculation- Define precisely what are considered "pervious" areas in this site and use Figure 2.2-17 to determine their related "C" values. Add a table to the final drainage report, showing a break down of all pervious and impervious areas for each previous, current and future construction phases.
  7. Infiltration into the soil, as the means of disposal for detention basins, is not acceptable. See the City of Scottsdale D.S.& P.M. for more information.
  8. Storage facilities must be designed such that the stored runoff shall be discharged completely within 36 hours following the storm event, but should not be designed to drain in less than 24 hours.
  9. Propose detention basins shall not be deeper than 3 feet with a maximum slope of 4:1. See D.S. & P.M. for details.
2. MASTER DRAINAGE REPORT COPIES. Before master drainage report approval by the Drainage Planning Department, the developer shall, when requested by city staff, submit two (2) hard copies and one (1) disc copy of the complete master drainage report.
  3. MASTER DRAINAGE REPORT APPROVAL. Before the improvement plan submittal to the Project Quality/Compliance Division, the developer shall have obtained approval of the master drainage report.

### CIRCULATION

- a. TRAFFIC IMPROVEMENTS. The developer shall provide any improvements supported by the approved traffic impact study for the site, as determined by the city staff.
  - b. DECELERATION LANE. The developer shall be responsible for the design and construction of a deceleration lane in Frank Lloyd Wright Blvd at the main southern driveway to the satisfaction of City staff.
  - c. HANDICAP RAMP. With Final Plans submittal, the proposed handicap ramp at the end of the proposed deceleration lane shall be designed to properly line up with the existing handicap to the south of the southern main driveway to the satisfaction of City staff.
  - d. SIDEWALK. The developer shall provide a sidewalk connection from Frank Lloyd Wright Blvd. southerly to the pre-school entry.
  - e. REFUSE CONTAINER. The developer shall install a second refuse enclosure at the southwestern corner of the site across from the proposed preschool classroom. The new enclosure shall be placed on the south side of the southern drive aisle-facing north.
1. TRAFFIC IMPACT STUDY. With the Development Review Board submittal, the developer shall submit a traffic impact study for the site, which shall be subject to city staff approval.



2. **ACCESS RESTRICTIONS.** Before issuance of any certificate of occupancy for the site, the developer shall dedicate the necessary right-of-way, as determined by city staff, and construct the following access to the site. Access to the site shall conform to the following restrictions (distances measured to the driveway or street centerlines):
  - a. Frank Lloyd Wright Blvd. - There shall be a maximum of two site driveways.
3. **AUXILIARY LANE CONSTRUCTION.** Before issuance of any certificate of occupancy for the site, the developer shall dedicate the necessary right-of-way, as determined by city staff, and construct right-turn deceleration lane at the southern driveway on Frank Lloyd Wright Blvd. in conformance with the Design Standards and Policies Manual.
4. **PEDESTRIAN CIRCULATION PLAN.** With the Development Review Board submittal, the developer shall submit a Pedestrian Circulation Plan for the site, which shall be subject to city staff approval. This plan shall indicate the location and width of all sidewalks and pedestrian pathways.
5. **ONSITE VEHICLE CIRCULATION AND STUDENT DROP-OFF AREA PLAN.** With the Development Review Board submittal, the developer shall submit an Onsite Vehicle Circulation Plan and Student Drop-off, which shall be subject to city staff approval. This plan shall indicate the location and configuration of internal driveways and drop-off area details as well procedures for such circulation and drop-off.

#### DRAINAGE AND FLOOD CONTROL

1. **CONCEPTUAL DRAINAGE REPORT.** With the Development Review Board submittal, the developer shall submit a conceptual drainage report and plan subject to city staff approval. The conceptual report and plan shall conform to the Design Standards and Policies Manual - Drainage Report Preparation. In addition, the conceptual drainage report and plan shall:
  - a. Identify all major wash corridors entering and exiting the site, and calculate the peak discharge (100-yr, 6-hr storm event) for a pre- versus post-development discharge comparison of ALL washes, which exit the property.
  - b. Determine easement dimensions necessary to accommodate design discharges.
  - c. Demonstrate how the storm water storage requirement is satisfied, indicating the location, volume and drainage area of all storage.
  - d. Include flood zone information to establish the basis for determining finish floor elevations in conformance with the Scottsdale Revised Code.
  - e. Include a complete description of requirements relating to project phasing.
2. **FINAL DRAINAGE REPORT.** With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit a final drainage report and plan subject to city staff approval. The final drainage report and plan shall conform to the Design Standards and Policies Manual – Drainage Report and Preparation. In addition, the final drainage report and plan shall:
  - a. Provide final calculations and detailed analysis that demonstrate consistency with the accepted conceptual drainage plan and report.
3. **STORM WATER STORAGE REQUIREMENT.** Before improvement plan approval, the developer shall submit a final drainage report and plan which calculates the storm water storage volume required,  $V_r$ , and the volume provided,  $V_p$ , using the 100-year, 2-hour storm event. The Developer shall:

- (1). Include a supportive argument that demonstrates historical flow through the site will be maintained, and that storm water runoff exiting this site has a safe place to flow.
4. STORM WATER STORAGE EASEMENTS. With the Development Review Board submittal, the developer shall submit a site plan subject to city staff approval. The site plan shall include and identify tracts with easements dedicated for the purposes of storm water storage, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
5. DRAINAGE EASEMENTS. Before the issuance of any building permit for the site, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all drainage easements necessary to serve the site.

## WATER

1. NEW WATER FACILITIES. Before the issuance of Letters of Acceptance by the Inspection Services Division, the developer shall provide all water lines and water related facilities necessary to serve the site. Water line and water related facilities shall conform to the city Water System Master Plan.
2. WATERLINE EASEMENTS. Before the issuance of any building permit for the site, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code the Design Standards and Policies Manual, all water easements necessary to serve the site.

## WASTEWATER

PRIVATE SERVICE LINES/FACILITIES. All on-site sanitary sewer lines and wastewater related facilities necessary to serve the site shall be private.

## OTHER REQUIREMENTS

1. ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS. All construction activities that disturb one half of an acre or more, shall obtain coverage under the National Pollutant Discharge Elimination System (NPDES) General Permit for Construction Activities. [NOI forms are available in the City of Scottsdale One Stop Shop, 7447 East Indian School Road, Suite 100. Contact Region 9 of the U.S. Environmental Protection Agency at 415-744-1500, and the Arizona Department of Environmental Quality at 602-207-4574 or at web site <http://www.epa.gov/region>.

The developer shall:

- a. Submit a completed Notice of Intent (NOI) to the EPA.
- b. Submit a completed Storm Water Pollution Prevention Plan (SWPPP) to the EPA.
2. NOTICE OF INTENT (NOI). With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit a copy of the NOI.
3. SECTION 404 PERMITS. With the improvement plan submittal to the Project Quality/Compliance Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]

4. DUST CONTROL PERMITS. Before commencing grading on sites 1/10 acre or larger, the developer shall have obtained a Dust Control Permit (earth moving equipment permit) from Maricopa County Division of Air Pollution Control. Call the county 602-507-6727 for fees and application information.
5. UTILITY CONFLICT COORDINATION. With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit a signed No Conflict form (not required for city owned utilities) from every affected utility company.

## **ADDITIONAL INFORMATION FOR CASES 3-ZN-2004 AND 3-UP-2004**

### **PLANNING/DEVELOPMENT**

1. **DEVELOPMENT REVIEW BOARD.** The City Council directs the Development Review Board's attention to:
  - a. Wall/fence design,
  - b. the type, height, design, and intensity of proposed lighting on the site, to ensure that it is compatible with the adjacent use,
  - c. signage,
  - d. play area walls, fencing, play equipment and ramada
2. **NATIVE PLANT PRESERVATION.** The owner shall secure a native plant permit as defined in the Scottsdale Revised Code for each parcel. City staff will work with the owner to designate the extent of the survey required within large areas of proposed undisturbed open space. Where excess plant material is anticipated, those plants shall be offered to the public at no cost to the owner in accordance with state law and permit procedure or may be offered for sale.

### **ENGINEERING**

1. **RESPONSIBILITY FOR CONSTRUCTION OF INFRASTRUCTURE.** The developer shall be responsible for all improvements associated with the development or phase of the development and/or required for access or service to the development or phase of the development. Improvements shall include, but not be limited to washes, storm drains, drainage structures, water systems, sanitary sewer systems, curbs and gutters, paving, sidewalks, streetlights, street signs, and landscaping. The granting of zoning/use permit does not and shall not commit the city to provide any of these improvements.
2. **FEES.** The construction of water and sewer facilities necessary to serve the site shall not be in-lieu of those fees that are applicable at the time building permits are granted. Fees shall include, but not be limited to the water development fee, water resources development fee, water recharge fee, sewer development fee or development tax, water replenishment district charge, pump tax, or any other water, sewer, or effluent fee.
3. **CITY CONTROL OF ACCESS.** The city retains the right to modify or void access within city right-of-way. The city's responsibility to promote safe conditions for the traveling public takes precedence over the stipulations above.

**Children's Ministry Center – New  
Covenant Lutheran Church  
3-ZN-2004 & 3-UP-2004**

Attachment #7. Traffic Impact Summary

The above attachment is on file at the City of  
Scottsdale Current Planning office,  
7447 E Indian School Road, Suite 105.

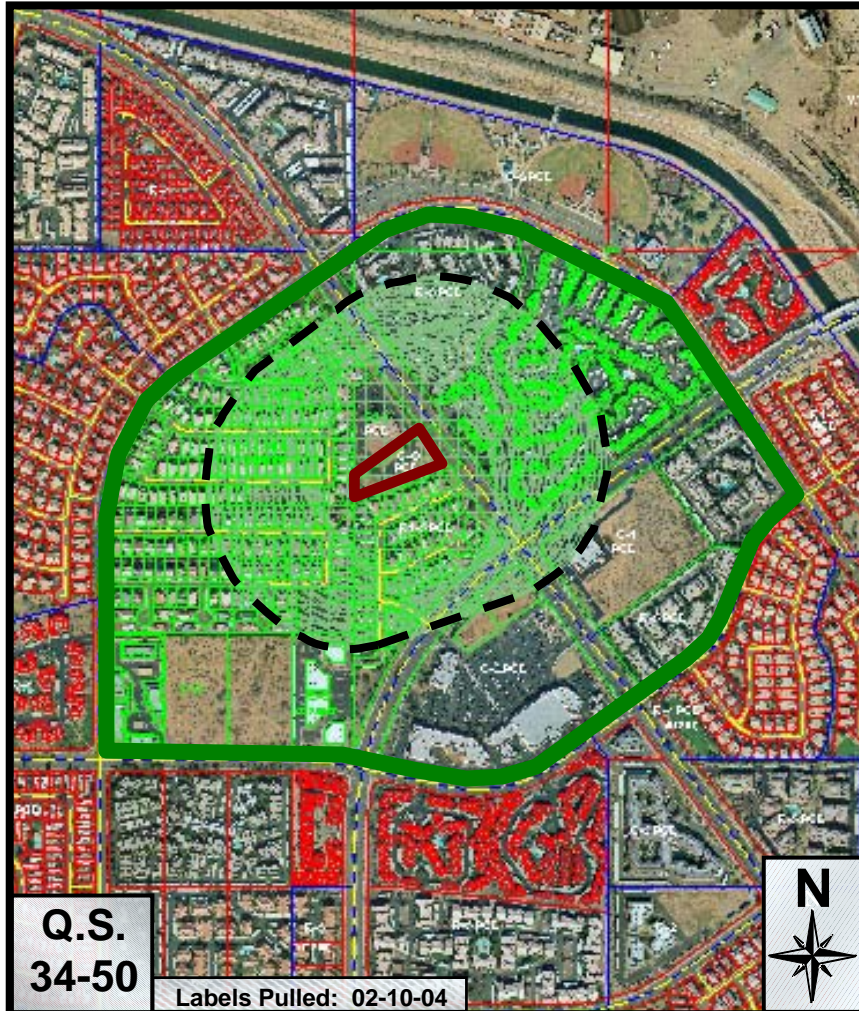


**Children's Ministry Center – New  
Covenant Lutheran Church  
3-ZN-2004 & 3-UP-2004**

Attachment #8. Citizen Involvement

The above attachment is on file at the City of  
Scottsdale Current Planning office,  
7447 E Indian School Road, Suite 105.

# City Notifications – Mailing List Selection Map



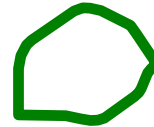
## Map Legend:



Area to be rezoned



Properties within 750-feet



**Extended Selection**  
(Additional properties notified)

## Additional Notifications:

- Interested Parties List
- Desert Shadows HOA
- Montage I & II
- Villages North Condominiums

**Children's Ministry Center  
New Covenant Lutheran Church**

**3-ZN-2004 / 3-UP-2004**

